



LOCATION MAP 1" = 2000'

PLAN SHEET INDEX

SHEET 1 Cover Sheet/Existing Conditions
 SHEET 2 Proposed Improvements
 SHEET 3 Grading/E&S Control Plan
 (ALL 3 SHEETS TO BE RECORDED)

SOURCE OF TITLE

Matthew F. Farrell
 Deed Book 187, Page 60
 Plan Book 71, Page 104, Lot 1
 T.M.P. 13-24-0799-172

OWNER/DEVELOPER INFORMATION

Matthew F. Farrell
 c/o Interstate Towing & Recovery
 1130 St. Johns Road
 Camp Hill, PA 17011
 (717) 730-7102

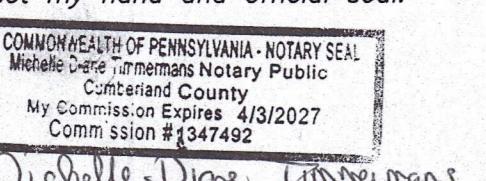
STATEMENT OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION

Commonwealth Of Pennsylvania:
 County Of Cumberland:

On this 20 day of June, 2023 before me, Matthew F. Farrell, the undersigned Officer, personally appeared Matthew F. Farrell, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument, and acknowledged that Matthew F. Farrell executed the same for the purposes therein contained.

Matthew F. Farrell

In witness whereof, I hereunto set my hand and official seal.



BOARD OF COMMISSIONERS

Approved by the Board of Commissioners, Lower Allen Township, Cumberland County, PA.

Approved this 14 day of June, 2023.

Conditions of approval completed this 14 day of June, 2023.

President Deon W. Villalobos

Secretary Thomas G. Vermau Jr.

CUMBERLAND COUNTY REVIEW

Reviewed this 23 day of March, 2023 by the Cumberland County Planning Department.

Director of Planning John C. Littman

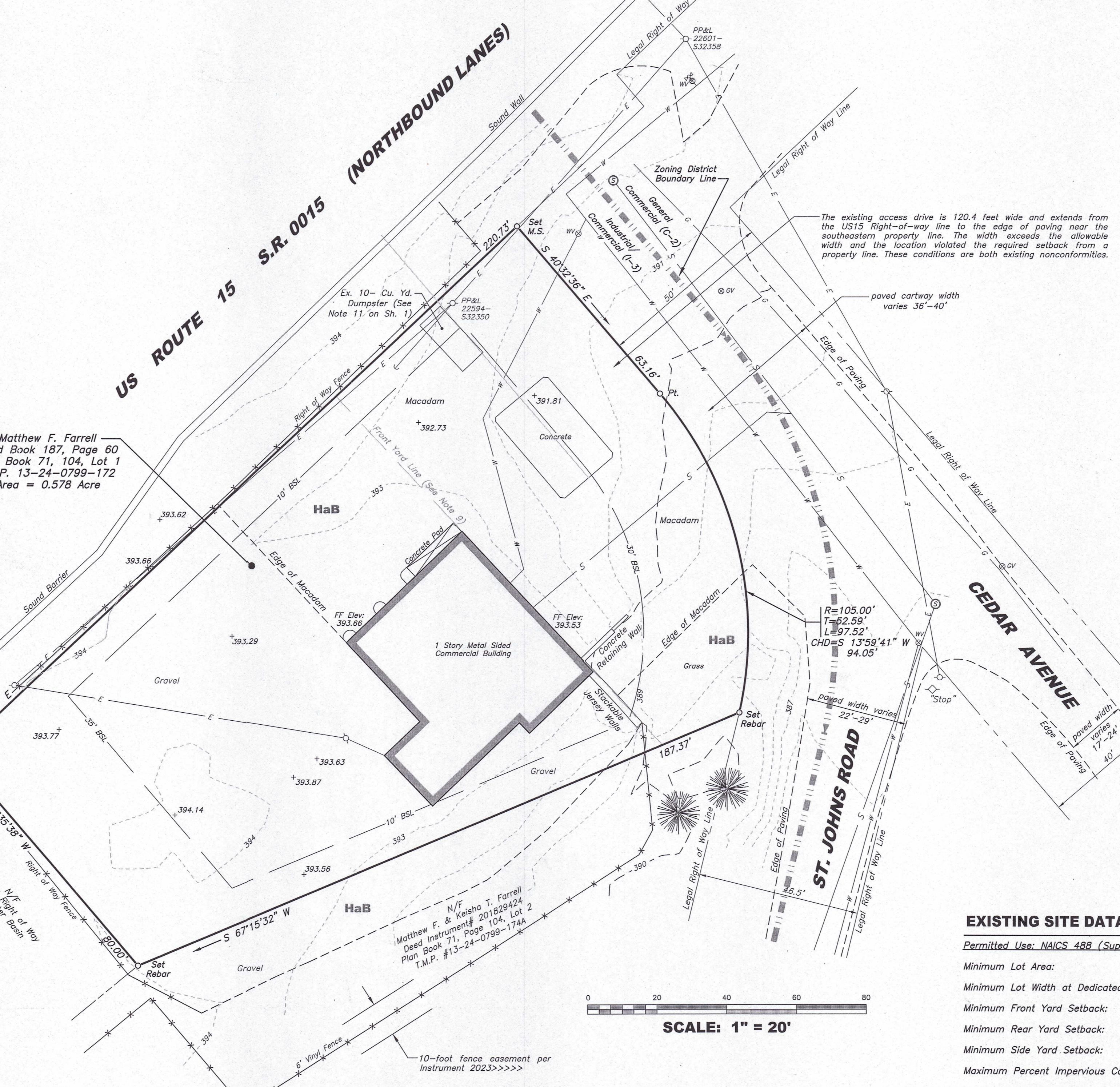
RECORDER OF DEEDS CERTIFICATE

Recorded in the Office for Recording of Deeds, in and for Cumberland County, Pennsylvania, in Instrument No. 2023-020, this 20 day of May, 2023.

Recorder

FINAL LAND DEVELOPMENT PLAN FOR INTERSTATE TOWING & RECOVERY

LOWER ALLEN TOWNSHIP - CUMBERLAND COUNTY - COMMONWEALTH OF PENNSYLVANIA



GENERAL PLAN NOTES

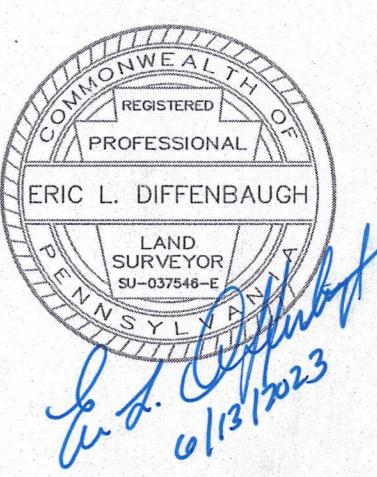
- The purpose of this plan is to obtain approval to construct a new 70' x 80' building for the existing towing and repair business at 1120 St. Johns Road (Interstate Towing). Once the proposed building is constructed, the existing commercial building will be converted to use as an accessory space for Interstate Towing.
- Site address for the subject property is 1120 St. Johns Road. Total Lot Area = 25,195 Sq. Ft. or 0.578 Acre.
- According to U.S. Fish and Wildlife Service National Wetlands Inventory Mapper (www.fws.gov/wetlands), there are no existing wetlands found on the subject property. A detailed wetland delineation was not completed at this time.
- The subject property is NOT located within the 100-year flood zone according to the National Flood Insurance Program Maps #4041C0279E, effective March 16, 2009.
- The locations of underground utilities as shown herein are based on aboveground structures and record drawings provided to the surveyor. Locations of underground utilities/structures may vary from locations shown herein. Additional buried utilities/structures may be encountered. No excavations were made during the progress of the survey to locate buried utilities. Because the underground utilities are shown in their approximate locations, they should be verified prior to any earthmoving activities.
- The subject property is served by public water public sewer.

LEGEND

Ex.	Existing
Pt.	Point
M.S.	Mag Spike
T.M.P.	Tax Map & Parcel
N/F	Now or Formerly
—	Contour Line
—	Adjoining Line
—	Utility Pole
—	Overhead Electric
—	Underground Electric
—	Electric Meter
—	Water Line
—	Water Valve
—	Fire Hydrant
—	Sanitary Sewer Line
—	Sanitary Sewer Manhole
—	Gas Valve
—	Gas Meter
—	Gas Line
—	Cleanout
—	Fence Line
—	Sign
—	Property Corner

SOIL INFORMATION

Hagerstown silt loam,
 3 to 8 percent slopes
 Not a hydric soil
 Is considered prime farmland
 Soil boundaries and classifications shown
 hereon were plotted from publicly available
 data provided by the U.S. Department of
 Agriculture.



LAND SURVEYOR'S CERTIFICATION

I hereby certify that, to the best of my knowledge, the survey and plan shown and described herein is true and correct to the accuracy required by the Lower Allen Township Subdivision And Land Development Ordinance. The error of closure is no greater than 1 foot in 5,000 feet for all surveyed property lines.

PRINCIPAL USE OF LOT

The existing principal use of the subject property is support activities for transportation (NAICS No. 488). The specific use of the site is for a towing and repair business operating under the name "Interstate Towing and Recovery". The proposed use of the property will remain the same.

EX. SITE COVERAGE CALCULATIONS

Building Area:	2,738 Sq. Ft.	0.063 Ac.	10.9%
Impervious Area:	21,422 Sq. Ft.	0.492 Ac.	85.0%
Vegetation:	1,035 Sq. Ft.	0.023 Ac.	4.1%
Total Lot Area =	25,195 Sq. Ft.	0.578 Ac.	100.0%

EXISTING SITE DATA - (I-3) INDUSTRIAL/COMMERCIAL ZONING DISTRICT

Permitted Use: NAICS 488 (Support Activities for Transportation)	Required	Existing
Minimum Lot Area:	No Minimum Lot Area	0.578 Acres
Minimum Lot Width at Dedicated R/W Line:	50 Feet	160.68 Feet
Minimum Front Yard Setback:	30 Feet	43.5 Feet
Minimum Rear Yard Setback:	35 Feet	5 Feet
Minimum Side Yard Setback:	10 Feet	9.42 Feet*
Maximum Percent Impervious Coverage:	70 Percent*	95.9 Percent**
Maximum Permitted Building Height:	75 Feet	~ 19 feet
Minimum space between separate principal buildings on the same lot	35 Feet	only one principal building

* This is an existing nonconformity

** The existing impervious area for the subject property is 24,160 Sq. Ft. or 95.9 percent of the lot area. This is an existing nonconformity.

WAIVER REQUEST/APPROVAL BLOCK

REQUESTED WAIVER	APPROVED	DENIED
Section 192-57.C(8) to provide curbs on all street frontage, until such time as the installation of same has been deemed necessary by the Township for the health, safety or welfare of the general public	6/12/23	
Section 192-57.C(9) to provide sidewalks on all street frontage, until such time as the installation of same has been deemed necessary by the Township for the health, safety or welfare of the general public	6/12/23	
Section 192-57.B.2.h.2 and 192-57.C.13.c.1: requires additional right-of-way and pavement width and curb construction in conformance with Table 10.1, and requires an applicant to pave any existing unpaved street and widen the curbs and any shoulders, and construct curb and fill-in paving of abutting streets to Township standards in accordance with Table 10.1.	6/12/23	
Section 192-58.C to provide street trees along any existing or proposed street or any access drive serving more than one nonresidential use or any access drive serving five or more dwelling units	6/12/23	

DIFFENBAUGH
WADEL INC.
SURVEYING & ENGINEERING
550 COVENTRY DRIVE
MECHANICSBURG, PA 17055

PHONE: (717) 697-2434
FAX: (717) 697-8489
www.difffenbaughwadel.com

PLAN REVISIONS

REVISIONS	DATE
1 Address Twp & CCPD comments dated 5/1/23	4/23/23
2 Address Twp comments dated 5/1/23	5/18/23

GENERAL PLAN NOTES

1. A variance of Section 220-102 (building setback requirements) of the Lower Allen Township Zoning ordinance was granted by the Lower Allen Township Zoning Hearing Board on March 16, 2023. Docket #2023-01. The variance allows the new building, upon its completion, to be 5 feet from the rear property boundary, and at closest, 1 foot from the side property boundaries. The variance was granted subject to the condition that the Applicant maintain strict conformance with the testimony, plans and evidence presented to the Board.
2. All applicable building code requirements must be met at the time of construction.
3. As of the date of this plan recording, no additional impervious coverage has been approved by Lower Allen Township. No permit will be issued for any additional installation or construction of impervious coverage unless Lower Allen Township has approved a Drainage Plan in accordance with the Lower Allen Township Stormwater Management Ordinance.
4. Proposed parking is based upon Z.O. 220-239.A (Vehicular parts sales/service garages/sales area: 3 service bays x 3 spaces per bay = 9 spaces (8 Standard spaces & 1 Handicap space)
5. Applicant and owner acknowledge that certain proposed site improvements depicted on this plan, including but not limited to accessible parking spaces, accessible route to the building and freestanding signs, that require approval under regulations contained in the PA Uniform Construction Code and/or Lower Allen Township Zoning Code must be installed in accordance with separate permit approvals granted under those regulations.
6. All signage must meet the requirements of Article XXV of the Lower Allen Township Zoning Ordinance.
7. No protective covenants are proposed for the subject property.

PROPOSED SITE DATA - (I-3) INDUSTRIAL/COMMERCIAL ZONING DISTRICT

Permitted Use: NAICS 488 (Support Activities for Transportation)	Required	Proposed
Minimum Lot Area:	No Minimum Lot Area	0.578 Acres
Minimum Lot Width at Dedicated R/W Line:	50 Feet	160.68 Feet
Minimum Front Yard Setback:	30 Feet	43.5 Feet
Minimum Rear Yard Setback:	35 Feet	5 Feet*
Minimum Side Yard Setback:	10 Feet	1 Foot*
Maximum Percent Impervious Coverage:	70 Percent*	94.1 Percent**
Maximum Permitted Building Height:	75 Feet	~ 34 feet
Minimum space between separate principal buildings on the same lot	35 Feet	only one principal building

* A variance has been granted for side and rear setbacks

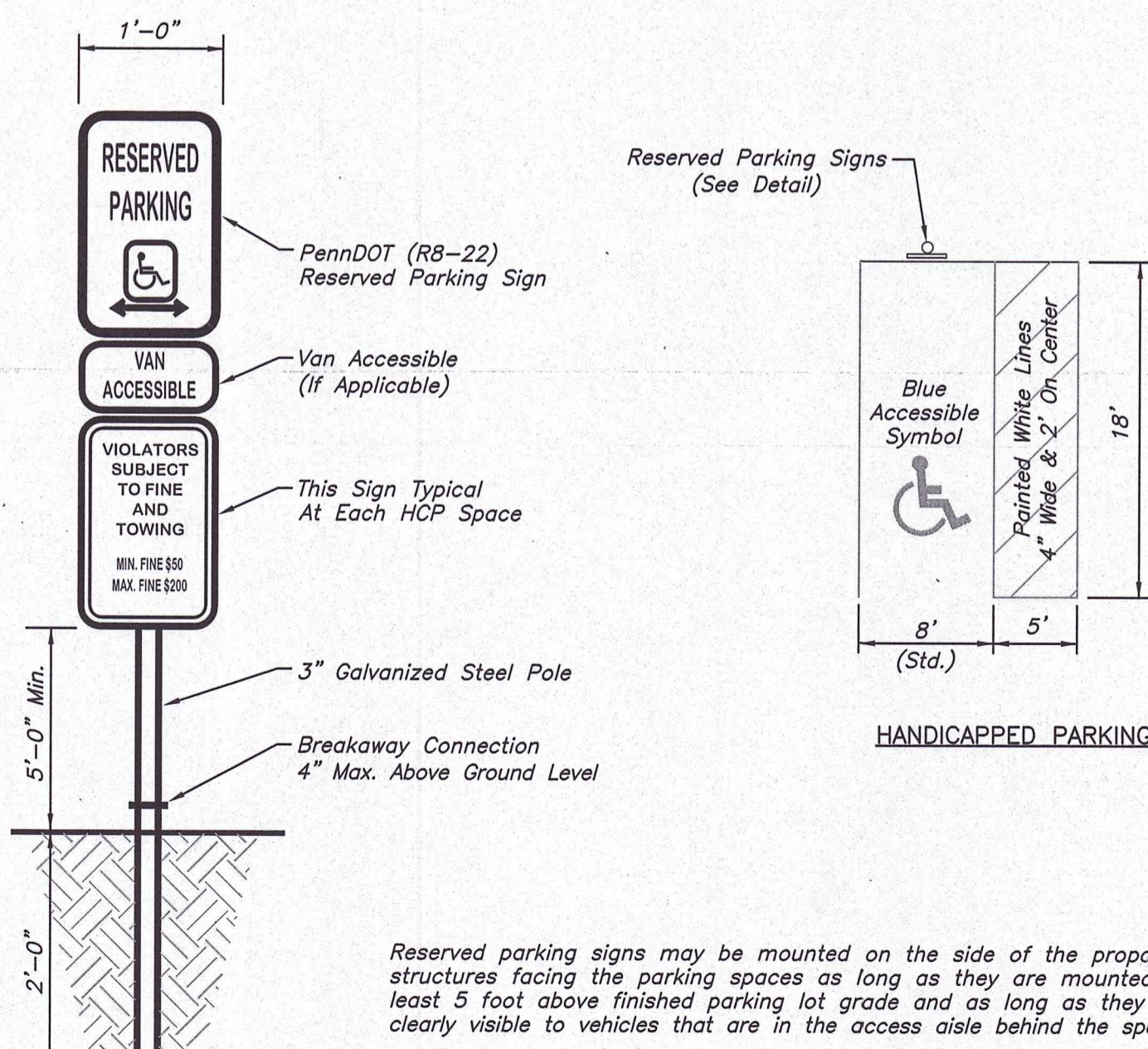
** The proposed impervious area for the subject property is 23,705 Sq. Ft. or 94.1 percent of the lot area. This is a decrease from the existing impervious coverage of 95.9 percent.

DEVELOPMENT SCHEDULE

Construction is anticipated to begin late summer to mid-fall 2023. Construction will take place over a 5-6 month period and the site will be stabilized no later than late-spring of 2024.

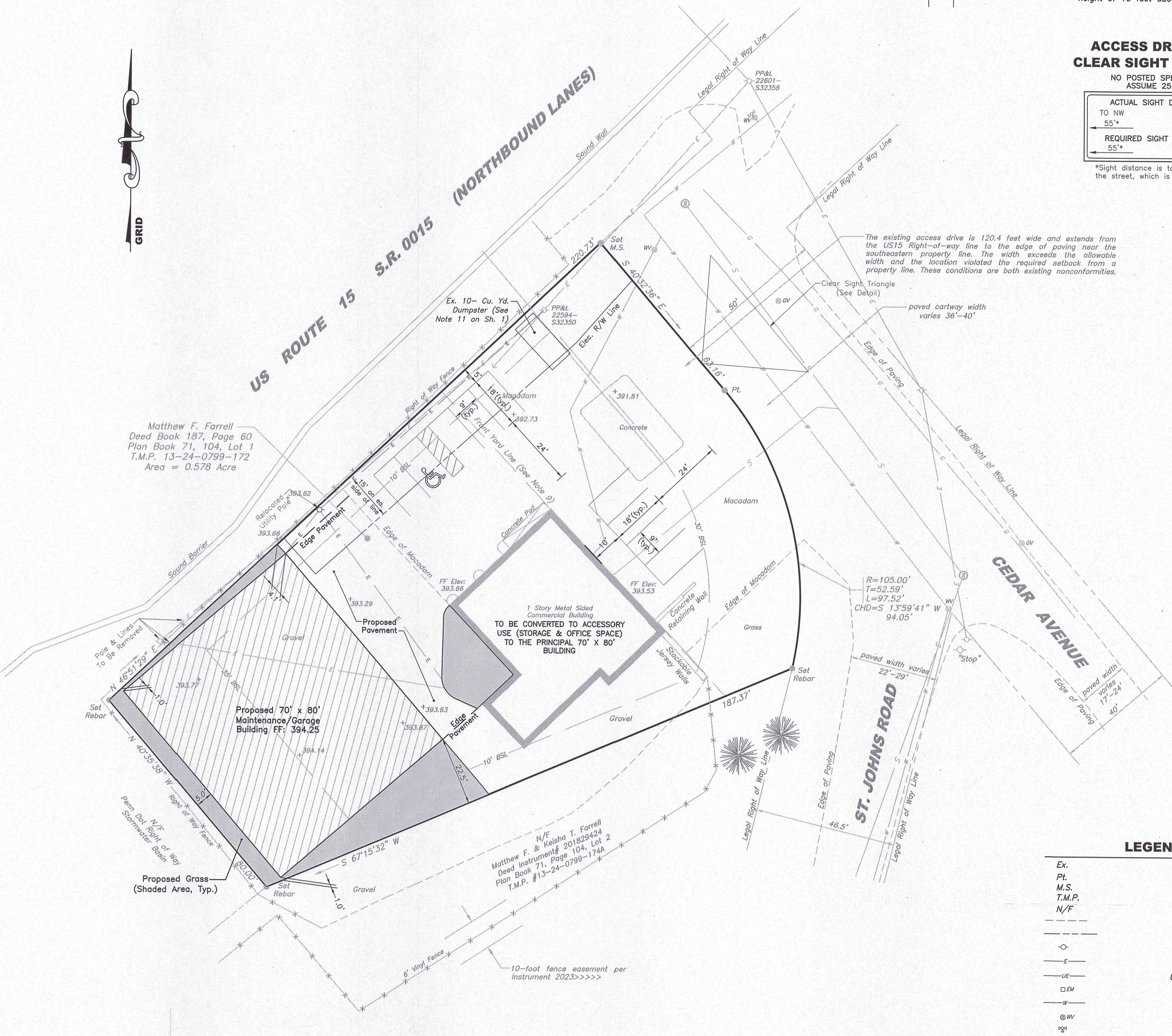
PROPOSED SITE COVERAGE

Building Area	8,338 Sq. Ft.	0.191 Ac.	33.1%
Impervious Area	15,367 Sq. Ft.	0.353 Ac.	61.0%
Vegetation:	1,490 Sq. Ft.	0.034 Ac.	5.9%
Total Lot Area	25,195 Sq. Ft.	0.578 Ac.	100.0%
*Total Impervious Area	23,705 Sq. Ft.	0.544 Ac.	94.1%

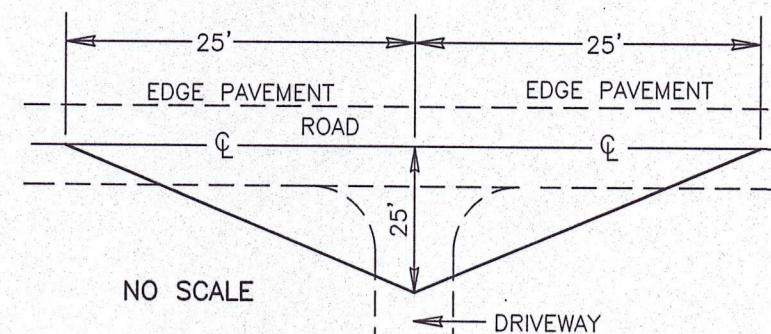


TYPICAL LAYOUT OF HANDICAP PARKING FACILITIES

NO SCALE

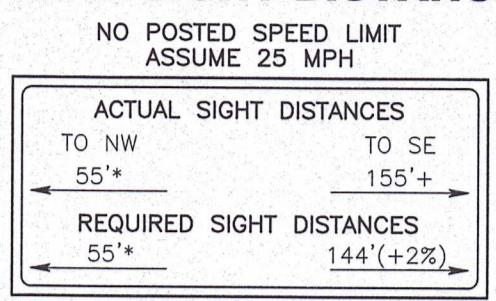


CLEAR SIGHT TRIANGLE DETAIL



A clear sight triangle of 25 feet, measured along the street center lines of intersecting streets, shall be maintained, within which such structures or planting shall be limited to a height of not more than three feet or less than 10 feet above the street grade, excepting the trunks of street trees or other ornamental trees whose foliage is kept trimmed to a height of 10 feet above the street grade.

ACCESS DRIVEWAY CLEAR SIGHT DISTANCE



*Sight distance is to the end of the street, which is a dead end

PROPOSED IMPROVEMENTS
DIFFENBAUGH WADEL INC.
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PHONE: (717) 697-2434
FAX: (717) 697-8489
www.diffenbaughwadelinc.com



Date: FEBRUARY 10, 2023
Scale: 1" = 20'
File No.: 2019-020
Drawing Name: 2019-020_P_Base
Drawn By: A.J.K.
Checked By: E.L.D.
Sheet No.: 2 OF 3

PLAN REVISIONS	REVISIONS	DATE
1	Address Twp & CCPD comments	4/23/23
2	Address Twp comments dated 5/1/23	5/18/23

