

LOCATION MAP 1" = 2000'

#### PLAN SHEET INDEX

- SHEET 1 Cover Sheet/Existing Conditions  
SHEET 2 Proposed Improvements  
SHEET 3 Grading/E&S Control Plan  
(ALL 3 SHEETS TO BE RECORDED)

#### SOURCE OF TITLE

Matthew F. Farrell  
Deed Book 187, Page 60  
Plan Book 71, Page 104, Lot 1  
T.M.P. 13-24-0799-172

#### OWNER/DEVELOPER INFORMATION

Matthew F. Farrell  
c/o Interstate Towing & Recovery  
1130 St. Johns Road  
Camp Hill, PA 17011  
(717) 730-7102

#### STATEMENT OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION

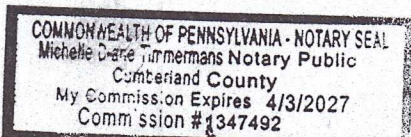
Commonwealth Of Pennsylvania:  
County Of Cumberland:

On this, the 20 day of June, 2023 before me, Michelle D. Diace, the undersigned Officer, personally appeared Matthew F. Farrell, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument, and acknowledged that he executed the same for the purposes therein contained.

Matthew F. Farrell  
Matthew F. Farrell

In witness whereof, I hereunto set my hand and official seal.

(Notary Seal)



#### BOARD OF COMMISSIONERS

Approved by the Board of Commissioners, Lower Allen Township, Cumberland County, PA.

Approved this 14th day of June, 2023.

Conditions of approval completed this 5th day of November, 2023.

William N. Villane President  
Thomas G. Veragud Secretary

#### CUMBERLAND COUNTY REVIEW

Reviewed this 20th day of March, 2023 by the Cumberland County Planning Department.

Vicki Kramer  
Director of Planning

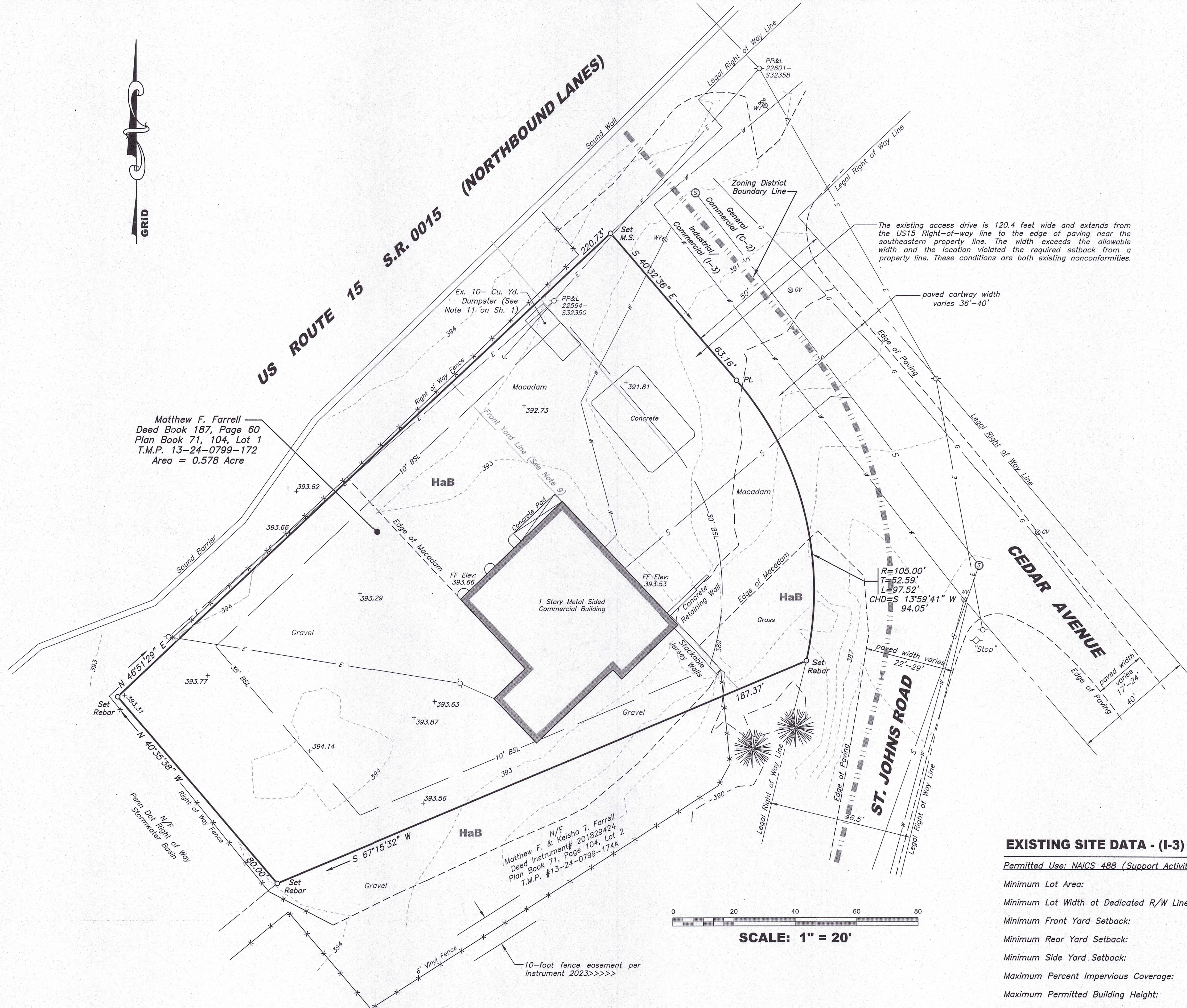
#### RECORDER OF DEEDS CERTIFICATE

Recorded in the Office for Recording of Deeds, in and for Cumberland County, Pennsylvania, in Instrument No. 2023-000000, this 20th day of November, 2023.

Recorder

# FINAL LAND DEVELOPMENT PLAN FOR INTERSTATE TOWING & RECOVERY

## LOWER ALLEN TOWNSHIP - CUMBERLAND COUNTY - COMMONWEALTH OF PENNSYLVANIA



#### GENERAL PLAN NOTES

- The purpose of this plan is to obtain approval to construct a new 70' x 80' building for the existing towing and repair business at 1120 St. Johns Road (Interstate Towing). Once the proposed building is constructed, the existing commercial building will be converted to use as an accessory office/storage space for Interstate Towing.
- The site address for the subject property is 1120 St. Johns Road. Total Lot Area = 25,195 Sq. Ft. or 0.578 Acres.
- According to U.S. Fish and Wildlife Service National Wetlands Inventory Mapper ([www.fws.gov/wetlands](http://www.fws.gov/wetlands)), there are no existing wetlands found on the subject property. A detailed wetland delineation was not completed at this time.
- The subject property is NOT located within the 100-year flood zone according to the National Flood Insurance Program Maps #42041C0279E, effective March 16, 2009.
- The locations of underground utilities as shown hereon are based on aboveground structures and record drawings provided to the surveyor. Locations of underground utilities/structures may vary from locations shown hereon. Additional buried utilities/structures may be encountered. No excavations were made during the progress of the survey to locate buried utilities. Because the underground utilities are shown in their approximate locations, they should be verified prior to any earthmoving activities.
- The subject property is served by public water public sewer.
- Nothing shall be placed, planted, set, or put within the area of an easement that would adversely affect the function of the easement or conflict with the easement agreement.
- A field survey of the property shown hereon, was performed by Diffenbaugh Wadel, Inc. on April 16, 2019.
- The grass area in the front yard (as defined by Z.O. 220-200.A) is 971 Sq. ft. in size. This equates to 10.48% of the total front yard area (8748 Sq. Ft.).
- The open portion of the site, with the exception of the grass area, is currently used for parking of either tow trucks or recovered vehicles. No parking area landscaping is present. Because this is an existing condition, it is an existing nonconformity.
- Trash disposal is addressed by the existing dumpster which is not screened. Because this is an existing condition, it is an existing nonconformity.
- This plan was completed without the benefit of a title report and, as such, may be subject to unknown easements, rights-of-way, covenants, and other encumbrances either recorded or unrecorded.
- The applicant shall provide the Township with reproducible and paper copies of the record plan as required by Section 192-52 of the Subdivision and Land Development Ordinance.
- No existing protective covenants are known to be associated with the subject property.

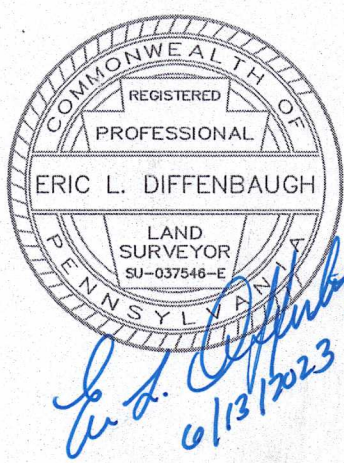
#### LEGEND

Ex.	Existing
Pt.	Point
M.S.	Mag Spike
T.M.P.	Tax Map & Parcel
N/F	Now or Formerly
---	Contour Line
---	Adjoiner Line
○	Utility Pole
---	Overhead Electric
---	Underground Electric
EM	Electric Meter
W	Water Line
WV	Water Valve
FS	Fire Hydrant
S	Sanitary Sewer Line
SM	Sanitary Sewer Manhole
GV	Gas Valve
GM	Gas Meter
G	Gas Line
CO	Cleanout
+	Fence Line
○	Sign
○	Property Corner

#### SOIL INFORMATION

HaB Hagerstown silt loam,  
3 to 8 percent slopes  
Not a hydric soil  
Is considered prime farmland

Soil boundaries and classifications shown hereon were plotted from publicly available data provided by the U.S. Department of Agriculture.



#### LAND SURVEYOR'S CERTIFICATION

I hereby certify that, to the best of my knowledge, the survey and plan shown and described hereon is true and correct to the accuracy required by the Lower Allen Township Subdivision And Land Development Ordinance. The error of closure is no greater than 1 foot in 5,000 feet for all surveyed property lines.

#### PRINCIPAL USE OF LOT

The existing principal use of the subject property is "support activities for transportation" (NAICS No. 488). The specific use of the site is for a towing and repair business operating under the name "Interstate Towing and Recovery". The proposed use of the property will remain the same.

#### EX. SITE COVERAGE CALCULATIONS

Building Area:	2,738 Sq. Ft.	0.063 Ac.	10.9%
Impervious Area:	21,422 Sq. Ft.	0.492 Ac.	85.0%
Vegetation:	1,035 Sq. Ft.	0.023 Ac.	4.1%
Total Lot Area =	25,195 Sq. Ft.	0.578 Ac.	100.0%

#### EXISTING SITE DATA - (I-3) INDUSTRIAL/COMMERCIAL ZONING DISTRICT

Permitted Use: NAICS 488 (Support Activities for Transportation)	Required	Existing
Minimum Lot Area:	No Minimum Lot Area	0.578 Acres
Minimum Lot Width at Dedicated R/W Line:	50 Feet	160.68 Feet
Minimum Front Yard Setback:	30 Feet	43.5 Feet
Minimum Rear Yard Setback:	35 Feet	5 Feet
Minimum Side Yard Setback:	10 Feet	9.42 Feet*
Maximum Percent Impervious Coverage:	70 Percent*	95.9 Percent**
Maximum Permitted Building Height:	75 Feet	~ 19 feet
Minimum space between separate principal buildings on the same lot	35 Feet	only one principal building

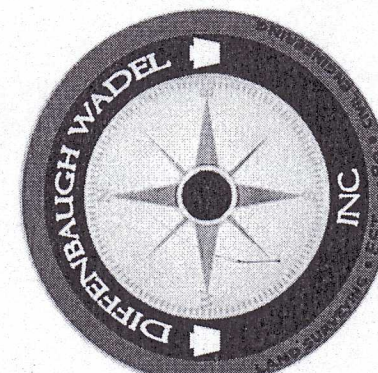
\* This is an existing nonconformity

\*\* The existing impervious area for the subject property is 24,160 Sq. Ft. or 95.9 percent of the lot area. This is an existing nonconformity.

#### WAIVER REQUEST/APPROVAL BLOCK

REQUESTED WAIVER	APPROVED	DENIED
Section 192-57.C(8) to provide curbs on all street frontage, until such time as the installation of same has been deemed necessary by the Township for the health, safety or welfare of the general public	6/12/23	
Section 192-57.C(9) to provide sidewalks on all street frontage, until such time as the installation of same has been deemed necessary by the Township for the health, safety or welfare of the general public	6/12/23	
Section 192-57.B.2.h.2 and 192-57.C.13.c.1: requires additional right-of-way and pavement width and curb construction in conformance with Table 10.1. and requires an applicant to pave any existing unpaved street and widen the cartway and any shoulders, and construct curb and fill-in paving of abutting streets to Township standards in accordance with Table 10.1.	6/12/23	
Section 192-58.C to provide street trees along any existing or proposed street or any access drive serving more than one nonresidential use or any access drive serving five or more dwelling units	6/12/23	

COVER SHEET/  
EXISTING CONDITIONS



DIFFENBAUGH  
WADEL INC.  
SURVEYING & ENGINEERING  
550 COVENTRY DRIVE  
MECHANICSBURG, PA 17055

www.diffenbaughwadel.com  
PHONE: (717) 697-3469 FAX: (717) 697-2434

Date  
FEBRUARY 10, 2023

Scale  
1" = 20'

File No.  
2019-020

Drawing Name  
2019-020 X\_Base

Drawn By  
A.J.K.

Checked By  
E.L.D.

Sheet No.  
1 OF 3



GENERAL PLAN NOTES

1. A variance of Section 220-102 (building setback requirements) of the Lower Allen Township Zoning ordinance was granted by the Lower Allen Township Zoning Hearing Board on March 16, 2023. Docket #2023-01. The variance allows the new building, upon its completion, to be 5 feet from the rear property boundary, and at closest, 1 foot from the side property boundaries. The variance was granted subject to the condition that the Applicant maintain strict conformance with the testimony, plans and evidence presented to the Board.
2. All applicable building code requirements must be met at the time of construction.
3. As of the date of this plan recording, no additional impervious coverage has been approved by Lower Allen Township. No permit will be issued for any additional installation or construction of impervious coverage unless Lower Allen Township has approved a Drainage Plan in accordance with the Lower Allen Township Stormwater Management Ordinance.
4. Proposed parking is based upon Z.O. 220-239.A (Vehicular parts sales/service garages/sales area: 3 service bays x 3 spaces per bay = 9 spaces (8 Standard spaces & 1 Handicap space))
5. Applicant and owner acknowledge that certain proposed site improvements depicted on this plan, including but not limited to accessible parking spaces, accessible route to the building and freestanding signs, that require approval under regulations contained in the PA Uniform Construction Code and/or Lower Allen Township Zoning Code must be installed in accordance with separate permit approvals granted under those regulations.
6. All signage must meet the requirements of Article XXV of the Lower Allen Township Zoning Ordinance.
7. No protective covenants are proposed for the subject property.

PROPOSED SITE DATA - (I-3) INDUSTRIAL/COMMERCIAL ZONING DISTRICT

Permitted Use: NA/CS 488 (Support Activities for Transportation)	Required	Proposed
Minimum Lot Area:	No Minimum Lot Area	0.578 Acres
Minimum Lot Width at Dedicated R/W Line:	50 Feet	160.68 Feet
Minimum Front Yard Setback:	30 Feet	43.5 Feet
Minimum Rear Yard Setback:	35 Feet	5 Feet*
Minimum Side Yard Setback:	10 Feet	1 Foot*
Maximum Percent Impervious Coverage:	70 Percent*	94.1 Percent**
Maximum Permitted Building Height:	75 Feet	~ 34 feet
Minimum space between separate principal buildings on the same lot	35 Feet	only one principal building

\* A variance has been granted for side and rear setbacks

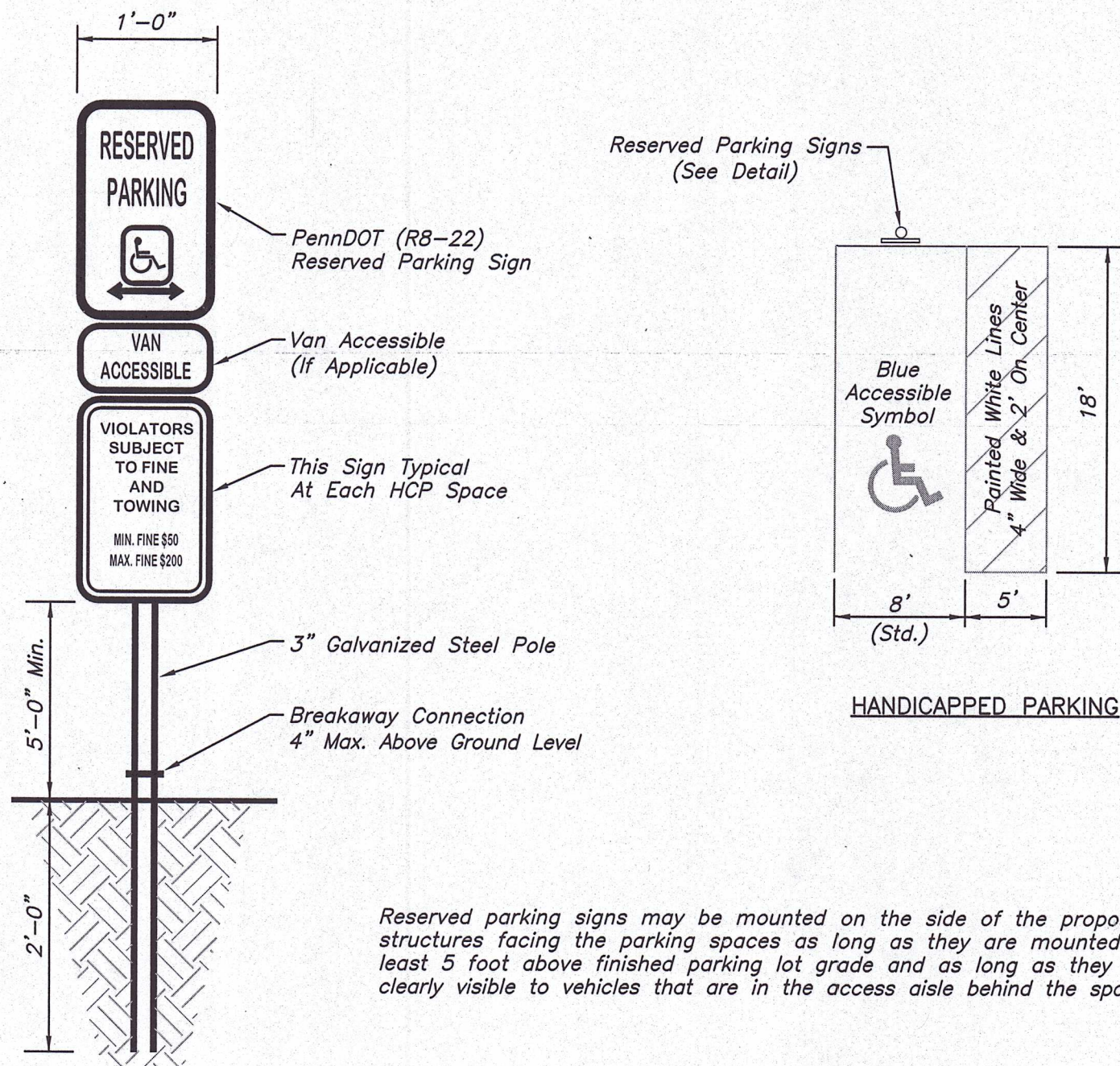
\*\* The proposed impervious area for the subject property is 23,705 Sq. Ft. or 94.1 percent of the lot area. This is a decrease from the existing impervious coverage of 95.9 percent.

DEVELOPMENT SCHEDULE

Construction is anticipated to begin late summer to mid-fall 2023. Construction will take place over a 5-6 month period and the site will be stabilized no later than late-spring of 2024.

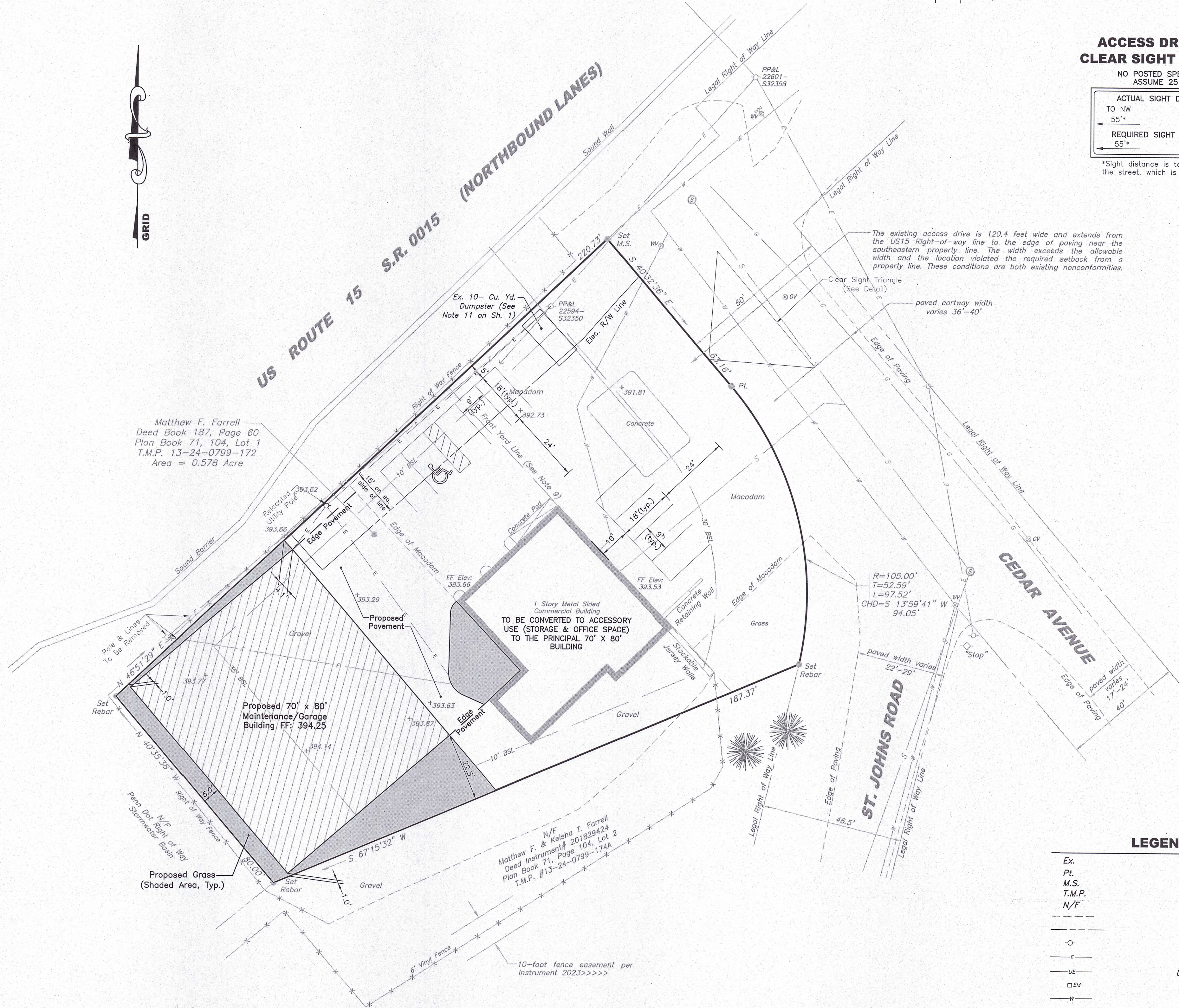
PROPOSED SITE COVERAGE

Building Area	8,338 Sq. Ft.	0.191 Ac.	33.1%
Impervious Area	15,367 Sq. Ft.	0.353 Ac.	61.0%
Vegetation:	1,490 Sq. Ft.	0.034 Ac.	5.9%
Total Lot Area	25,195 Sq. Ft.	0.578 Ac.	100.0%
*Total Impervious Area	23,705 Sq. Ft.	0.544 Ac.	94.1%

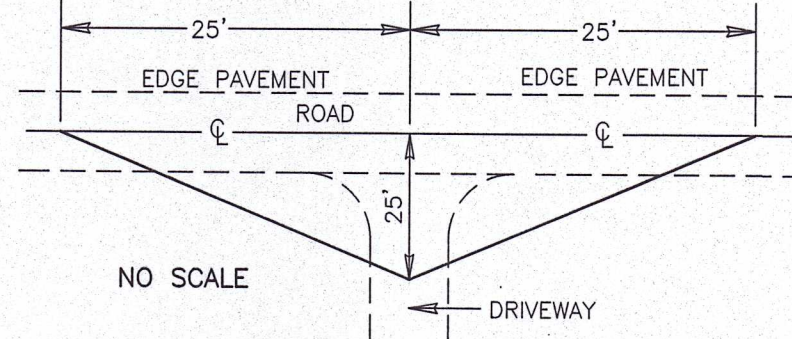


TYPICAL LAYOUT OF HANDICAP PARKING FACILITIES

NO SCALE



CLEAR SIGHT TRIANGLE DETAIL



A clear sight triangle of 25 feet, measured along the street center lines of intersecting streets, shall be maintained, within which such structures or planting shall be limited to a height of not more than three feet or less than 10 feet above the street grade, excepting the trunks of street trees or other ornamental trees whose foliage is kept trimmed to a height of 10 feet above the street grade.

ACCESS DRIVEWAY CLEAR SIGHT DISTANCE

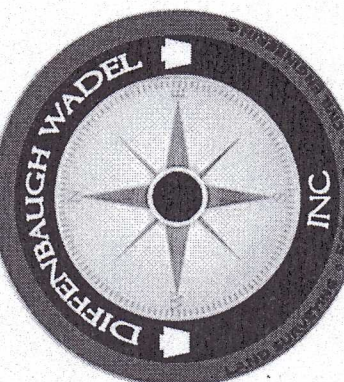
NO POSTED SPEED LIMIT ASSUME 25 MPH	
ACTUAL SIGHT DISTANCES	
TO NW	TO SE
55'±	155'±
REQUIRED SIGHT DISTANCE	
55'±	144'(+2%)

\*Sight distance is to the end of the street, which is a dead end

LEGEND

Ex.	Existing
PL	Point
M.S.	Mag Spike
T.M.P.	Tax Map & Parcel
N/F	Now or Formerly
---	Contour Line
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-F	Fire Hydrant
-S-	Sanitary Sewer Line
-S	Sanitary Sewer Manhole
-G	Gas Valve
-GM	Gas Meter
-G	Gas Line
-CO	Cleanout
-X-	Fence Line
-◇-	Sign
-O	Property Corner
-E-	Proposed Overhead Electric Line
-EUG-	Proposed Underground Electric Line
-S-	Proposed Sanitary Sewer Line
-W-	Proposed Water Line
-SSF-	Super Silt Fence

PROPOSED IMPROVEMENTS



DIFENBAUGH WADEL INC.  
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Date	FEBRUARY 10, 2023
Scale	1" = 20'
File No.	2019-020
Drawing Name	2019-020 P_Base
Drawn By	A.J.K.
Checked By	E.L.D.
Sheet No.	2 OF 3



SEQUENCE OF CONSTRUCTION

\* All earth disturbance activities shall proceed in accordance with the following sequence. Each stage shall be completed and immediately stabilized before any following stage is initiated. Clearing, grubbing and topsoil stripping shall be limited only to those areas described in each stage. Any deviation from the following sequence must be approved in writing by Lower Allen Township.

\* Upon temporary cessation of an earth disturbance activity or any stage or phase of an activity where a cessation of earth disturbance activities will exceed 4 days, the site shall be immediately seeded, mulched, or otherwise protected from accelerated erosion and sedimentation pending future earth disturbance activities.

1. At least 7 days before starting any earth disturbance activities, including clearing and grubbing, the owner and/or operator shall notify Lower Allen Township of their intention to start earthmoving and to invite Township personnel or their designees to an on-site pre-construction meeting.

2. At least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call System Incorporated at 1-800-242-1776 for the location of existing underground utilities.

3. Mark limits of disturbance to ensure this boundary is not crossed by any earthmoving activities. The markings must clearly delineate the limits of disturbance and must be maintained until the site is permanently stabilized. Also stake or mark all areas where construction vehicles are prohibited to travel: steep slopes, infiltration areas, floodways, and wetlands, etc as may be indicated on the plan.

4. Install 12" Silt socks as shown on plan. Utilize the gravel and paved parking area on-site as a rock construction entrance. If any sediment leaves the site, it must be immediately cleaned up and disposed of on-site.

5. Perform grading needed to bring building pad and new paved area to subgrade. Construct improvements. Bring pervious portions of the site to final grade with topsoil and stabilize with permanent vegetation, and place the stone base in the paved area. Seed all disturbed areas according to the permanent seeding specifications. Finish paving parking areas.

6. Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operators shall contact the Dauphin County Conservation District for an inspection prior to the removal/conversion of the E&S BMP's.

7. Upon completion of all earth disturbance activities, removal of all temporary BMPs and permanent stabilization of all disturbed areas, the owner and/operators shall contact the Dauphin County Conservation District for a final inspection.

NOTES:

Sock fabric shall meet standards of Table 4.1 of the PA DEP Erosion Control Manual.

Compost shall meet the standards of Table 4.2 of the PA DEP Erosion Control Manual.

Compost filter sock shall be placed at existing level grade. Both ends of the barrier shall be extended at least 6 feet up slope at 45 degrees to the main barrier alignment. Maximum slope length above any barrier shall not exceed that specified for the size of the sock and the slope of its tributary area.

Traffic shall not be permitted to cross compost filter socks.

Accumulated sediment shall be removed when it reaches 1/2 the above ground height of the barrier and disposed in the manner described elsewhere in the plan.

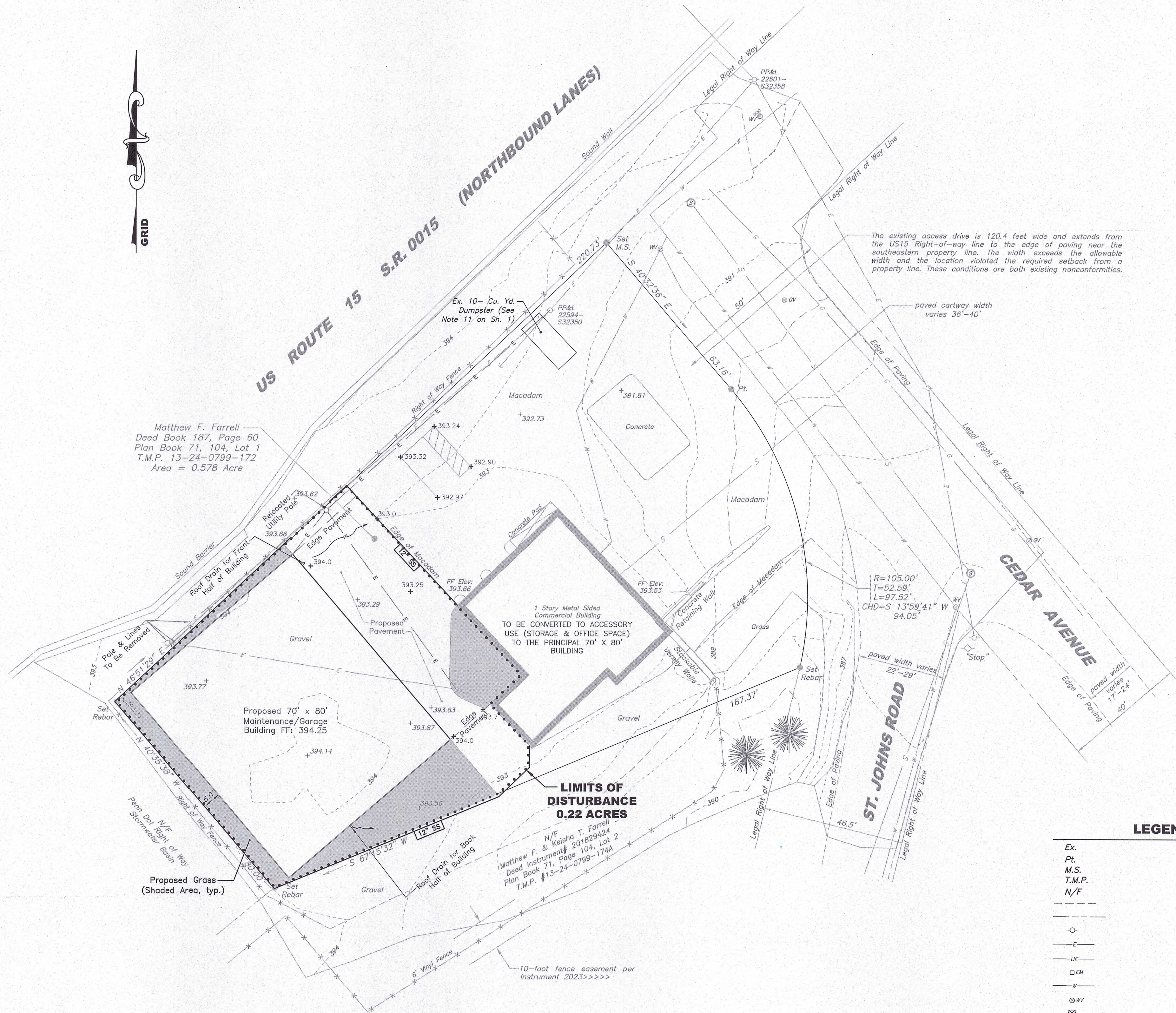
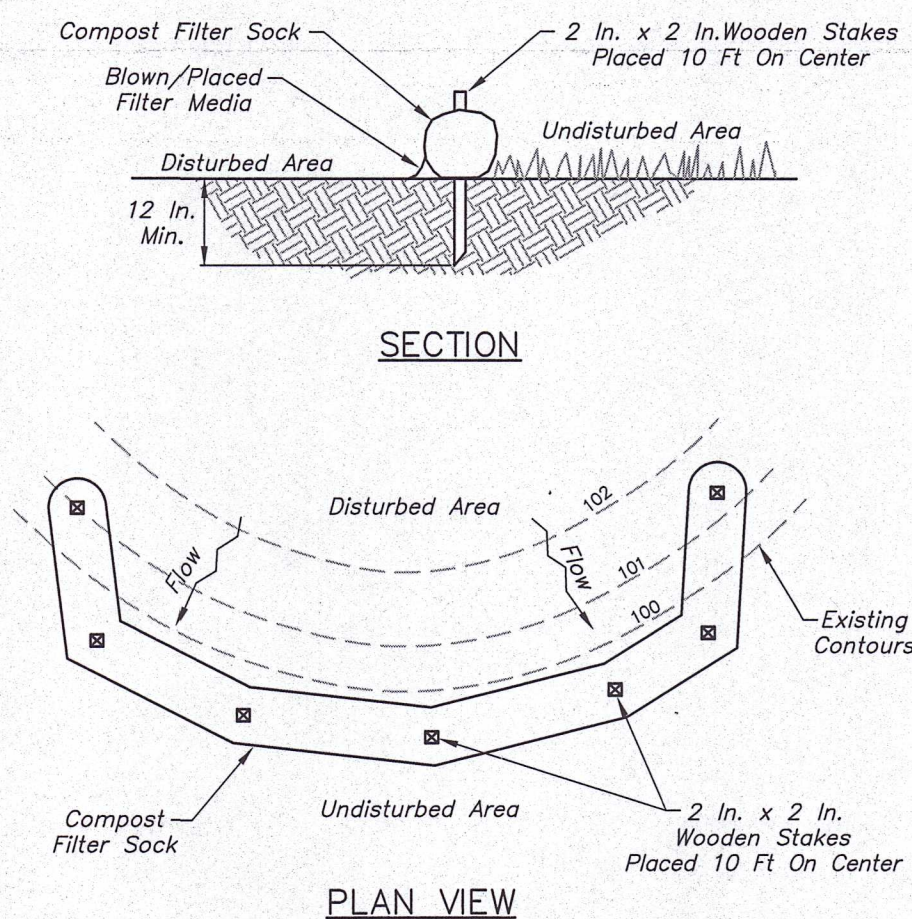
Compost filter socks shall be inspected weekly and after each runoff event. Damaged socks shall be repaired according to manufacturer's specifications or replaced within 24 hours of inspection.

Biodegradable compost filter socks shall be replaced after 6 months; photodegradable socks after 1 year. Polypropylene socks shall be replaced according to manufacturer's recommendations.

Upon stabilization of the area tributary to the sock, stakes shall be removed. The sock may be left in place and vegetated or removed. In the latter case, the mesh shall be cut open and the mulch spread as a soil supplement.

STANDARD CONSTRUCTION DETAIL #4-1  
COMPOST FILTER SOCK

NOT TO SCALE



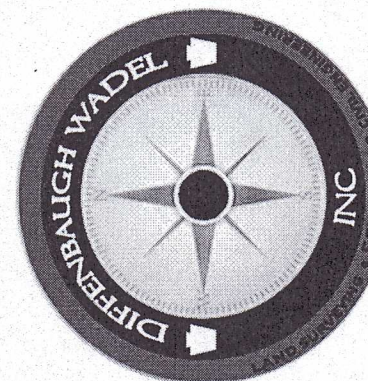
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-PC-	Property Corner
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-EUG-	Proposed Underground Electric Line
-SS-	Proposed Sanitary Sewer Line
-W-	Proposed Water Line
-12" SS-	12" Filter Sock
.....	Limits of Disturbance

PLAN REVISIONS

No.	REVISIONS	DATE
1	Address Twp & CCPD comments	4/23/23
2	Address Twp comments dated 5/1/23	5/16/23

GRADING/  
E&S CONTROL PLAN



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